

CA3 ON HW Q60 P66
1990

URBAN/MUNICIPAL

Y OF HAMILTON-WENTWORTH



Planning and Development Department
119 King Street West, 14th floor
Hamilton, Ontario
(416) 546-4186 Fax (416) 546-4364

Mailing Address:
P.O. Box 910, Hamilton, Ontario
L8N 3V9

October 16, 1990

25T-89021

Regional Assessment Department
Fire Department
Regional Police Department
The Librarian, Hamilton Public Library
Commissioner of Public Works
Northgate Cable T.V. Limited

Refer to File No.

Attention of

Your file No.

Dear Sir:

Re: File No.: 25T-89021 (Revised)
Subdivision Name: Maplevue Estates Extension
Owner: Mr. A. Weisz & Mr. & Mrs. Knapman
Surveyor: May, Pirie & Associates Ltd.
Location: Part Lot 15, Concession 3, City of Stoney Creek

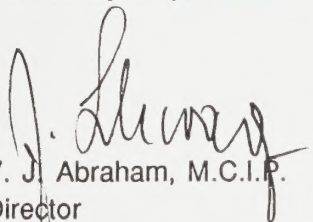
URBAN MUNICIPAL

OCT 17 1990

GOVERNMENT DOCUMENTS

The Planning and Development Department has under consideration the above proposed plan of subdivision, the location and layout of which is indicated on the attached plan. This proposed plan is forwarded to you for your information. However, should you wish to make any representation concerning this plan, please advise the Planning and Development Department.

Yours very truly,


V. J. Abraham, M.C.I.P.
Director
Regional Planning Branch

JLS/dc
Encl.

Note: Please address all correspondence to J. L. Schwarz, Manager, Subdivision and Condominium Administration Section, Regional Planning Branch at the above address.

DRAFT PLAN OF SUBDIVISION

BEING PART OF LOT 15, CONCESSION 3
GEOGRAPHIC TOWNSHIP OF SALTLEET
CITY OF STONEY CREEK
REGIONAL MUNICIPALITY OF HAMILTON-WENTWORTH



I hereby certify that the undersigned are the owners of the lands outlined in a heavy line shown on this plan and I hereby authorize **MAY PLANE & ASSOCIATES LIMITED** to submit this draft plan for approval.

2006-11-10, 10:00
 DATE
 3441 10,0000
 2006-11-10, 10:00
 DATE
 3441 10,0000
 2006-11-10, 10:00
 DATE
 3441 10,0000

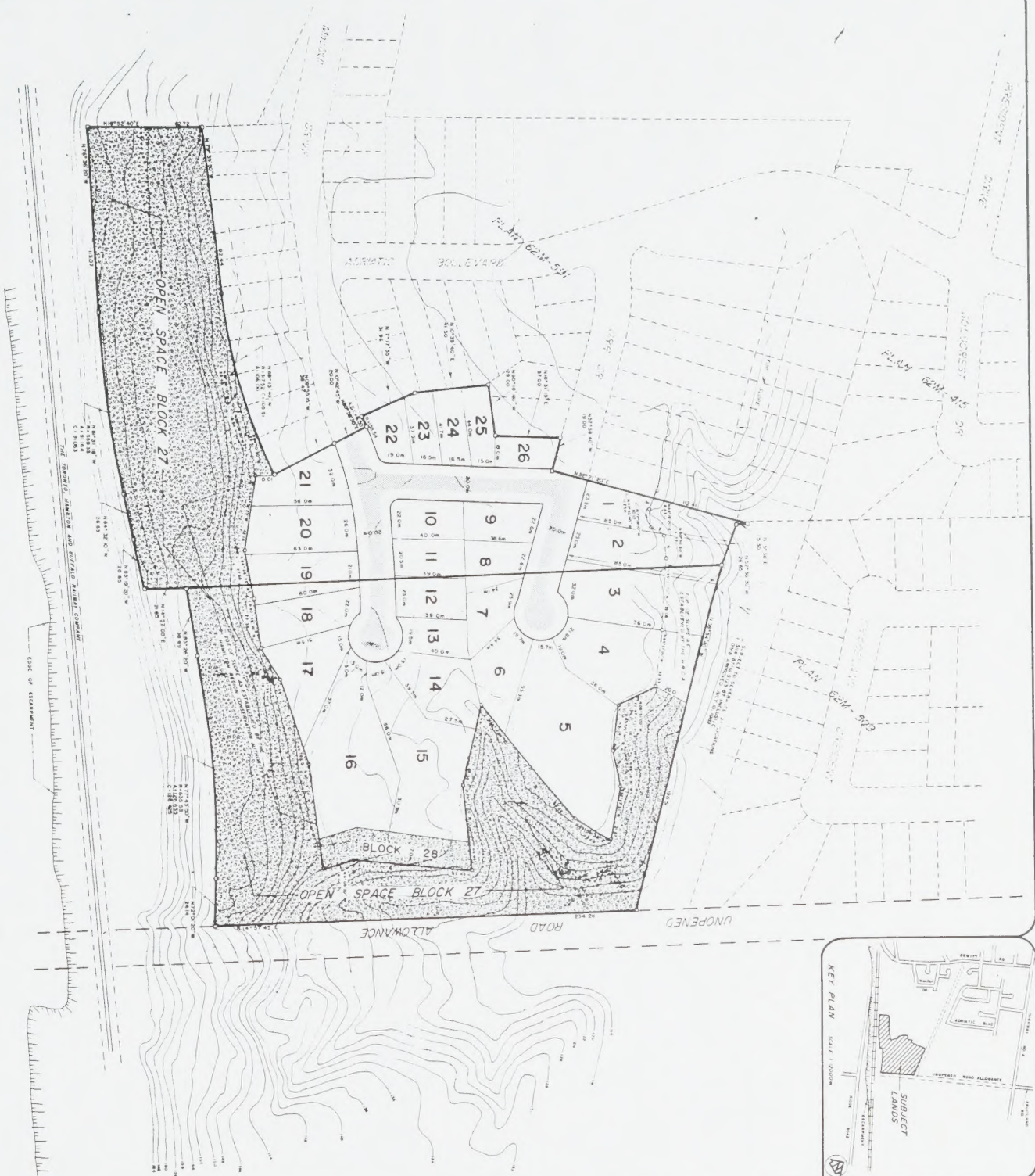
I hereby certify that the lands to be subdivided, outlined in a heavy line as shown on this plan and their relationship to adjacent lands are correctly and accurately shown

JUNE 20, 1969
DATE _____
O G FRASER & SONS
A CLERKE & ASSOCIATES

(g) See Plan	(h) See Plan
(b) See Plan	(i) Municipal water
(c) See Plan	(j) Clay loam
(d) See Design B Land Use Schedule	(k) See Plan
(e) See Plan	(l) Full Services
(f) See Plan	(m) See Plan

DESIGN & LAND USE SCHEDULE		
USE	LOT/BLOCK	AREA (sq)
<p>1. <i>[Illegible text]</i></p> <p>2. <i>[Illegible text]</i></p> <p>3. <i>[Illegible text]</i></p> <p>4. <i>[Illegible text]</i></p> <p>5. <i>[Illegible text]</i></p> <p>6. <i>[Illegible text]</i></p> <p>7. <i>[Illegible text]</i></p> <p>8. <i>[Illegible text]</i></p> <p>9. <i>[Illegible text]</i></p> <p>10. <i>[Illegible text]</i></p> <p>11. <i>[Illegible text]</i></p> <p>12. <i>[Illegible text]</i></p> <p>13. <i>[Illegible text]</i></p> <p>14. <i>[Illegible text]</i></p> <p>15. <i>[Illegible text]</i></p> <p>16. <i>[Illegible text]</i></p> <p>17. <i>[Illegible text]</i></p> <p>18. <i>[Illegible text]</i></p> <p>19. <i>[Illegible text]</i></p> <p>20. <i>[Illegible text]</i></p> <p>21. <i>[Illegible text]</i></p> <p>22. <i>[Illegible text]</i></p> <p>23. <i>[Illegible text]</i></p> <p>24. <i>[Illegible text]</i></p> <p>25. <i>[Illegible text]</i></p> <p>26. <i>[Illegible text]</i></p> <p>27. <i>[Illegible text]</i></p> <p>28. <i>[Illegible text]</i></p> <p>29. <i>[Illegible text]</i></p> <p>30. <i>[Illegible text]</i></p> <p>31. <i>[Illegible text]</i></p> <p>32. <i>[Illegible text]</i></p> <p>33. <i>[Illegible text]</i></p> <p>34. <i>[Illegible text]</i></p> <p>35. <i>[Illegible text]</i></p> <p>36. <i>[Illegible text]</i></p> <p>37. <i>[Illegible text]</i></p> <p>38. <i>[Illegible text]</i></p> <p>39. <i>[Illegible text]</i></p> <p>40. <i>[Illegible text]</i></p> <p>41. <i>[Illegible text]</i></p> <p>42. <i>[Illegible text]</i></p> <p>43. <i>[Illegible text]</i></p> <p>44. <i>[Illegible text]</i></p> <p>45. <i>[Illegible text]</i></p> <p>46. <i>[Illegible text]</i></p> <p>47. <i>[Illegible text]</i></p> <p>48. <i>[Illegible text]</i></p> <p>49. <i>[Illegible text]</i></p> <p>50. <i>[Illegible text]</i></p>		

SHOPS & FAMILY	LOTTOS : 26	3.83
RECREATION		
OPEN SPACE	BLOCK 27	4.17
BLOCK 28A	BLOCK 28	0.4
27A ROAD		0.64
TOTAL		8.04
LINEAL MILES/ACRE	350.28	





URBAN/MUNICIPAL

OF HAMILTON-WENTWORTH

Planning and Development Department
119 King Street West, 14th floor
Hamilton, Ontario
(416) 546-4186 Fax (416) 546-4364

Mailing Address:
P.O. Box 910, Hamilton, Ontario
L8N 3V9

25T-89029

October 3, 1990

Refer to File No.

Attention of

Your file No.

Regional Assessment Department
Fire Department
Regional Police Department
The Librarian, Hamilton Public Library
Commissioner of Public Works
Director of Culture and Recreation
Southmount Tel-E-Vents Limited
Development Section, Local Planning Branch (Attn: G. Whitehouse)

Dear Sir/Madam:

Re: File No.: 25T-89029
Subdivision Name: N/A
Owner: Joseph Falcone, President, Falconstone Development
Surveyor: May, Pirie & Associates, Terri L. Johns
Location: Part Lot 11, Concession 7, City of Hamilton

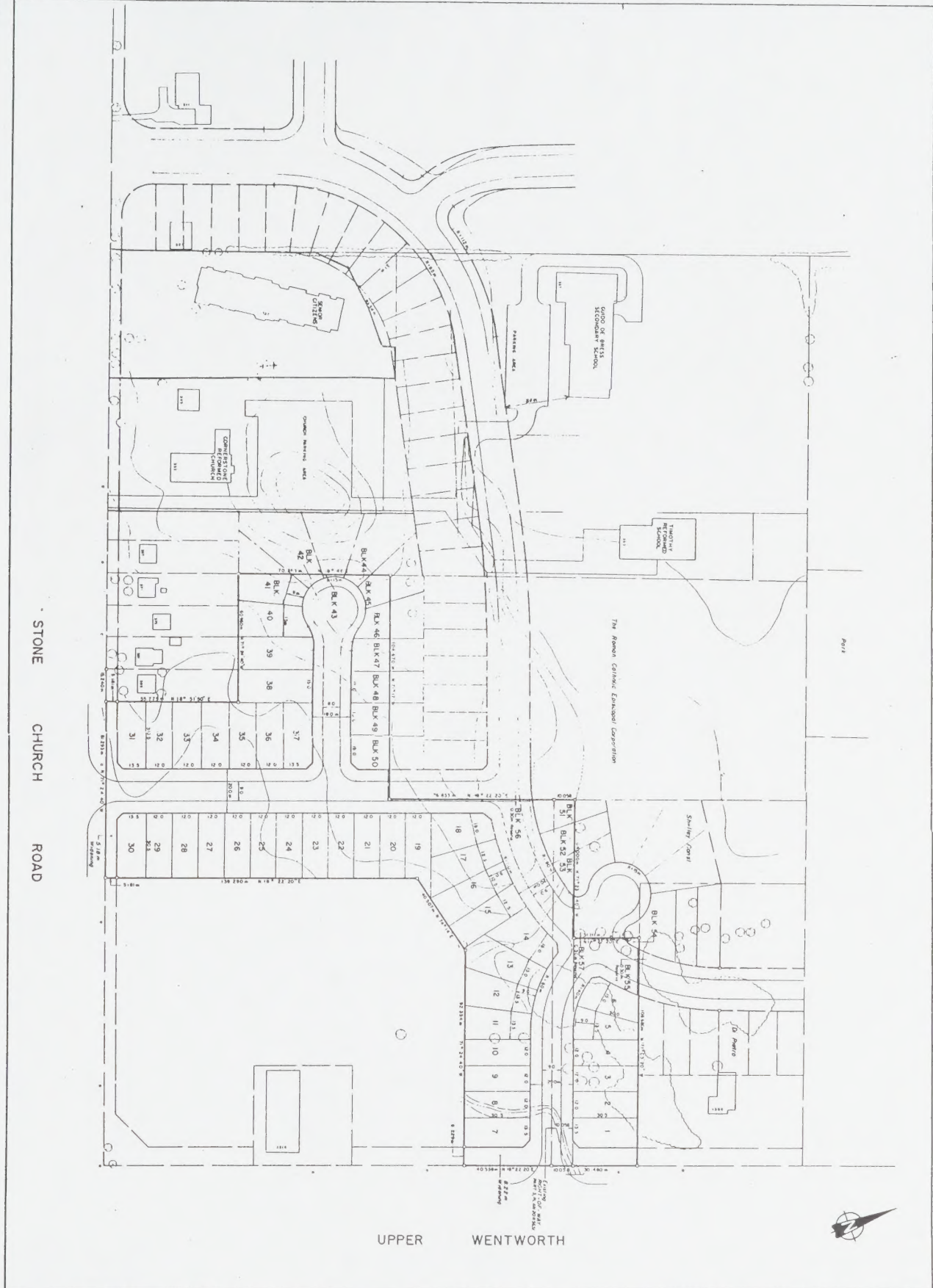
The Planning and Development Department has under consideration the above proposed plan of subdivision, the location and layout of which is indicated on the attached plan. This proposed plan is forwarded to you for your information. However, should you wish to make any representation concerning this plan, please advise the Planning and Development Department.

Yours very truly,

V. J. Abraham, M.C.I.P.
Director
Regional Planning Branch

JLS/CMD/dc
Encl.

Note: Please address all correspondence to J. L. Schwarz, Manager, Subdivision and Condominium Administration Section, Regional Planning Branch at the above address.



DRAFT PLAN OF SUBDIVISION

PART OF LOT 11, CONCESSION 7
IN THE GEOGRAPHIC
TOWNSHIP OF BARTON
NOW IN THE
CITY OF HAMILTON
REGIONAL MUNICIPALITY OF
HAMILTON - WENTWORTH

REQUIREMENTS OF THE
PLANNING ACT 1983 (50.2)

Notes: This plan shows the proposed subdivision of the land into lots and blocks. The plan is subject to the requirements of the Planning Act 1983 (50.2).

DESIGN CRITERIA AND LAND USE SCHEDULE

USE	LOT/BLK	AREA (sq. ft.)
Residential	Lot 1 to 40	1.5 ha.
Residential	Lot 41 to 50	0.4 ha.
Residential	Lot 51 to 60	0.4 ha.
Residential	Lot 61 to 70	0.4 ha.
Residential	Lot 71 to 80	0.4 ha.
Residential	Lot 81 to 90	0.4 ha.
Residential	Lot 91 to 100	0.4 ha.
Residential	Lot 101 to 110	0.4 ha.
Residential	Lot 111 to 120	0.4 ha.
Residential	Lot 121 to 130	0.4 ha.
Residential	Lot 131 to 140	0.4 ha.
Residential	Lot 141 to 150	0.4 ha.
Residential	Lot 151 to 160	0.4 ha.
Residential	Lot 161 to 170	0.4 ha.
Residential	Lot 171 to 180	0.4 ha.
Residential	Lot 181 to 190	0.4 ha.
Residential	Lot 191 to 200	0.4 ha.
Residential	Lot 201 to 210	0.4 ha.
Residential	Lot 211 to 220	0.4 ha.
Residential	Lot 221 to 230	0.4 ha.
Residential	Lot 231 to 240	0.4 ha.
Residential	Lot 241 to 250	0.4 ha.
Residential	Lot 251 to 260	0.4 ha.
Residential	Lot 261 to 270	0.4 ha.
Residential	Lot 271 to 280	0.4 ha.
Residential	Lot 281 to 290	0.4 ha.
Residential	Lot 291 to 300	0.4 ha.
Residential	Lot 301 to 310	0.4 ha.
Residential	Lot 311 to 320	0.4 ha.
Residential	Lot 321 to 330	0.4 ha.
Residential	Lot 331 to 340	0.4 ha.
Residential	Lot 341 to 350	0.4 ha.
Residential	Lot 351 to 360	0.4 ha.
Residential	Lot 361 to 370	0.4 ha.
Residential	Lot 371 to 380	0.4 ha.
Residential	Lot 381 to 390	0.4 ha.
Residential	Lot 391 to 400	0.4 ha.
Residential	Lot 401 to 410	0.4 ha.
Residential	Lot 411 to 420	0.4 ha.
Residential	Lot 421 to 430	0.4 ha.
Residential	Lot 431 to 440	0.4 ha.
Residential	Lot 441 to 450	0.4 ha.
Residential	Lot 451 to 460	0.4 ha.
Residential	Lot 461 to 470	0.4 ha.
Residential	Lot 471 to 480	0.4 ha.
Residential	Lot 481 to 490	0.4 ha.
Residential	Lot 491 to 500	0.4 ha.
Residential	Lot 501 to 510	0.4 ha.
Residential	Lot 511 to 520	0.4 ha.
Residential	Lot 521 to 530	0.4 ha.
Residential	Lot 531 to 540	0.4 ha.
Residential	Lot 541 to 550	0.4 ha.
Residential	Lot 551 to 560	0.4 ha.
Residential	Lot 561 to 570	0.4 ha.
Residential	Lot 571 to 580	0.4 ha.
Residential	Lot 581 to 590	0.4 ha.
Residential	Lot 591 to 600	0.4 ha.
Residential	Lot 601 to 610	0.4 ha.
Residential	Lot 611 to 620	0.4 ha.
Residential	Lot 621 to 630	0.4 ha.
Residential	Lot 631 to 640	0.4 ha.
Residential	Lot 641 to 650	0.4 ha.
Residential	Lot 651 to 660	0.4 ha.
Residential	Lot 661 to 670	0.4 ha.
Residential	Lot 671 to 680	0.4 ha.
Residential	Lot 681 to 690	0.4 ha.
Residential	Lot 691 to 700	0.4 ha.
Residential	Lot 701 to 710	0.4 ha.
Residential	Lot 711 to 720	0.4 ha.
Residential	Lot 721 to 730	0.4 ha.
Residential	Lot 731 to 740	0.4 ha.
Residential	Lot 741 to 750	0.4 ha.
Residential	Lot 751 to 760	0.4 ha.
Residential	Lot 761 to 770	0.4 ha.
Residential	Lot 771 to 780	0.4 ha.
Residential	Lot 781 to 790	0.4 ha.
Residential	Lot 791 to 800	0.4 ha.
Residential	Lot 801 to 810	0.4 ha.
Residential	Lot 811 to 820	0.4 ha.
Residential	Lot 821 to 830	0.4 ha.
Residential	Lot 831 to 840	0.4 ha.
Residential	Lot 841 to 850	0.4 ha.
Residential	Lot 851 to 860	0.4 ha.
Residential	Lot 861 to 870	0.4 ha.
Residential	Lot 871 to 880	0.4 ha.
Residential	Lot 881 to 890	0.4 ha.
Residential	Lot 891 to 900	0.4 ha.
Residential	Lot 901 to 910	0.4 ha.
Residential	Lot 911 to 920	0.4 ha.
Residential	Lot 921 to 930	0.4 ha.
Residential	Lot 931 to 940	0.4 ha.
Residential	Lot 941 to 950	0.4 ha.
Residential	Lot 951 to 960	0.4 ha.
Residential	Lot 961 to 970	0.4 ha.
Residential	Lot 971 to 980	0.4 ha.
Residential	Lot 981 to 990	0.4 ha.
Residential	Lot 991 to 1000	0.4 ha.

TOTAL: 2.8 HECTARES

CREAR NEIGHBOURHOOD

SURVEYOR'S CERTIFICATE

OWNER'S CERTIFICATE

1. I hereby certify that the subdivision of the land into lots and blocks is in accordance with the requirements of the Planning Act 1983 (50.2).

2. I hereby certify that the subdivision of the land into lots and blocks is in accordance with the requirements of the Planning Act 1983 (50.2).

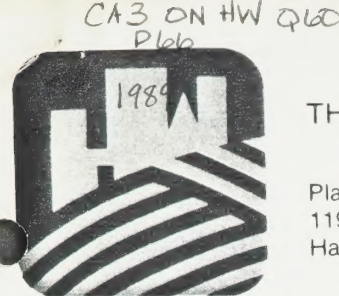
3. I hereby certify that the subdivision of the land into lots and blocks is in accordance with the requirements of the Planning Act 1983 (50.2).

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5. I hereby certify that the subdivision of the land into lots and blocks is in accordance with the requirements of the Planning Act 1983 (50.2).

6. I hereby certify that the subdivision of the land into lots and blocks is in accordance with the requirements of the Planning Act 1983 (50.2).

7. I hereby certify that the subdivision of the land into lots and blocks is in accordance with the requirements of the Planning Act 1983 (50.2).



THE REGIONAL MUNICIPALITY OF HAMILTON-WENTWORTH

Planning and Development Department
119 King Street West, 14th floor
Hamilton, Ontario

Mailing Address:
P.O. Box 910, Hamilton, Ontario
L8N 3V9

May 31, 1989

Refer to File No. 25T-89012
Attention of SA-89-09
Your File No.

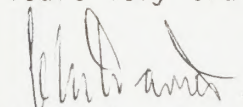
Regional Assessment Department
Fire Department
Regional Police Department
The Librarian, Hamilton Public Library ✓
Commissioner of Public Works
Director of Culture and Recreation
Cable T.V.

Dear Sir:

Re: File No.: 25T-89012
Subdivision Name: Abbey Hill Farm - Phase 2
Owner: Shedaco Holdings Ltd.
Surveyor: J. P. Nouwens, O.L.S.
Location: Lot 4, Concession 1, former Township of Glanford,
City of Hamilton

The Planning and Development Department has under consideration the above **proposed plan of subdivision**, the location and layout of which is indicated on the attached plan. This proposed plan is forwarded to you for your information. However, should you wish to make any representation concerning this plan, please advise the Planning and Development Department.

Yours very truly,


J. A. Gartner, M.C.I.P.
Director,
Regional Planning Branch

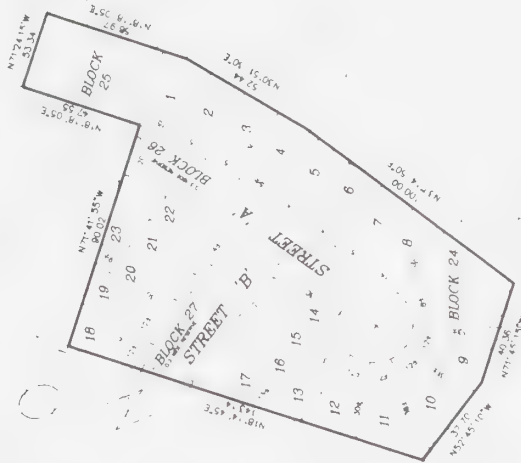
CMD/jd

Encls.

Note: Please address all correspondence to J. L. Schwarz, Manager, Subdivision and Condominium Administration Section, Regional Planning Branch at the above address.



RYMAL ROAD WEST
FORMERLY THE HIGHWAY # 54



KEY PLAN

METRIC NOTE

OWNER'S CERTIFICATE

DATE

SURVEYOR'S CERTIFICATE

DATE

SCHEDULE : RE : SECTION 50(2)

DRAFT PLAN OF



BEING A PROPOSED SUBDIVISION OF PART OF

LOT 4, CONCESSION 1

FORMERLY IN THE

TOWNSHIP OF GLANFORD

NOW IN THE

CITY OF HAMILTON

REGIONAL MUNICIPALITY OF HAMILTON

SCALE 1:1000 METRES

JOHN P. NOUWENS, O.L.S. -1989

ASHENHURST NOUWENS LIMITED
Professional Engineers & Ontario Land Surveyors
201-315 YORK BLVD. BRANCH OFFICE
HAMILTON, ONTARIO L8N 3K5
(416) 529-4318
(416) 529-4314
FAX (416) 529-4651

THE REGIONAL MUNICIPALITY OF HAMILTON-WENTWORTH

CA3 ON HW Q60
P66
1990
URBAN/MUNICIPAL

nt Department
th floor

Mailing Address:
P.O. Box 910, Hamilton, Ontario
L8N 3V9

January 4, 1989

Refer to File No. 25T-89036
Attention of 25T-89037
Your File No. 25T-89038
25T-89039
25CDM-89025
25CDM-89027
25CDM-89028
25CDM-89029

Regional Assessment Department
Fire Department
Regional Police Department
The Librarian, Hamilton Public Library ✓
Commissioner of Public Works
Director of Culture and Recreation
Cable T. V.
Development Section, Local Planning Branch

URBAN MUNICIPAL

JAN 4

GOVERNMENT DOCUMENTS

Dear Sir/Madam:

Re:

File: 25T-89036, Effort Gardens Extension
Owner: Hampshire Properties Inc.
Surveyor: J. D. Peters, O.L.S.
Location: Part Lot 14, Concession 7, City of Hamilton

File: 25T-89037, Sharif Estates
Owner: Yaser Sharif
Surveyor: Guido Consoli Surveying Ltd.
Location: Part of Lot 20, Concession 8, City of Hamilton

File: 25T-89038, Crerar Court
Owner: Westmount Homes
Surveyor: A. J. Clarke & Assoc.
Location: Part Lot 11, Concession 7, City of Hamilton

File: 25T-89039, Peace Manor
Owner: Henry H. Young
Surveyor: J. David Peters, O.L.S.
Location: Part Lot 32, Concession 5, City of Hamilton

25CDM-89025: Lillian Heights - Ph. 1 Condominium
Owner: Kingsmount Place Properties I Inc.
Surveyor: L. G. Woods, O.L.S.
Location: Block 39, R. P. 62M-614, City of Hamilton

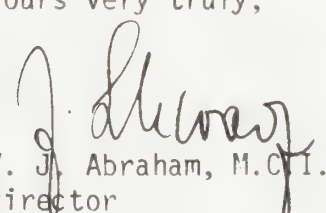
25CDM-89027: N/A
Owner: West Highland Management Limited
Surveyor: John Boyd, O.L.S.
Location: Lot 2, Margaret MacKay Survey, R. P. 427, City of Hamilton

25CDM-89028: N/A
Owner: T. Valeri Construction Ltd.
Surveyor: J. D. Barnes Ltd.
Location: Block 41, Lillian Heights (Phase I), R. P. 62M-614, Hamilton

25CDM-89029: N/A
Owner: T. Valeri Construction Limited
Surveyor: J. D. Barnes Limited
Location: Block 42, Lillian Heights (Phase I), R. P. 62M-614, Hamilton

The Planning and Development Department has under consideration the above proposed plans of subdivision, the location and layout of which are indicated on the attached plans. These proposed plans are forwarded to you for your information. However, should you wish to make any representation concerning these plans, please advise the Planning and Development Department.

Yours very truly,


for V. J. Abraham, M.C.I.P.
Director
Regional Planning Branch

JLS/jd

Encl.

Note: Please address all correspondence to J. L. Schwarz, Manager,
Subdivision and Condominium Administration Section, Regional Planning
Branch at the above address.

DRAFT PLAN OF
EFFORT GARDENS EXTENSION
 BEING A PROPOSED SUBDIVISION OF
 PART OF LOT 14- CONCESSION 7
 IN THE GEOGRAPHIC
 TOWNSHIP OF BARTON
 CITY OF HAMILTON
 REGIONAL MUNICIPALITY OF HAMILTON/ WENTWORTH
 SCALE 1:800
 5 METRES
 J. DAVID PETERS O.L.S.

LEGEND
 BEARINGS ARE ASTRONOMIC AND ARE CORRECTED
 TO THE EASTERN LIMIT OF UPPER JAMES STREET
 AS WIDENED AND SHOWN ON PLAN 356 MISC AS
 N 17°45'20" E

KEY PLAN SCALE 1:12000

SCHEDULE DE SECTION 50 (2)
 THE PLANNING ACT - R.S.O. 1985

- A) SHOWN
- B) SHOWN
- C) SHOWN
- D) SINGLE FAMILY RESIDENTIAL
- E) RESIDENTIAL / AGRICULTURAL
- F) SHOWN
- G) SHOWN
- H) MUNICIPAL WATER SUPPLY
- I) CLAY LOAM
- J) SHOWN
- K) SHOWN
- L) MUNICIPAL SERVICES AVAILABLE
- M) SHOWN

OWNER'S CERTIFICATE
 I HEREBY AUTHORIZE MACKAY MACKAY
 PETERS TO SUBMIT THIS PLAN FOR
 APPROVAL.

ASTRUC MEIRZ

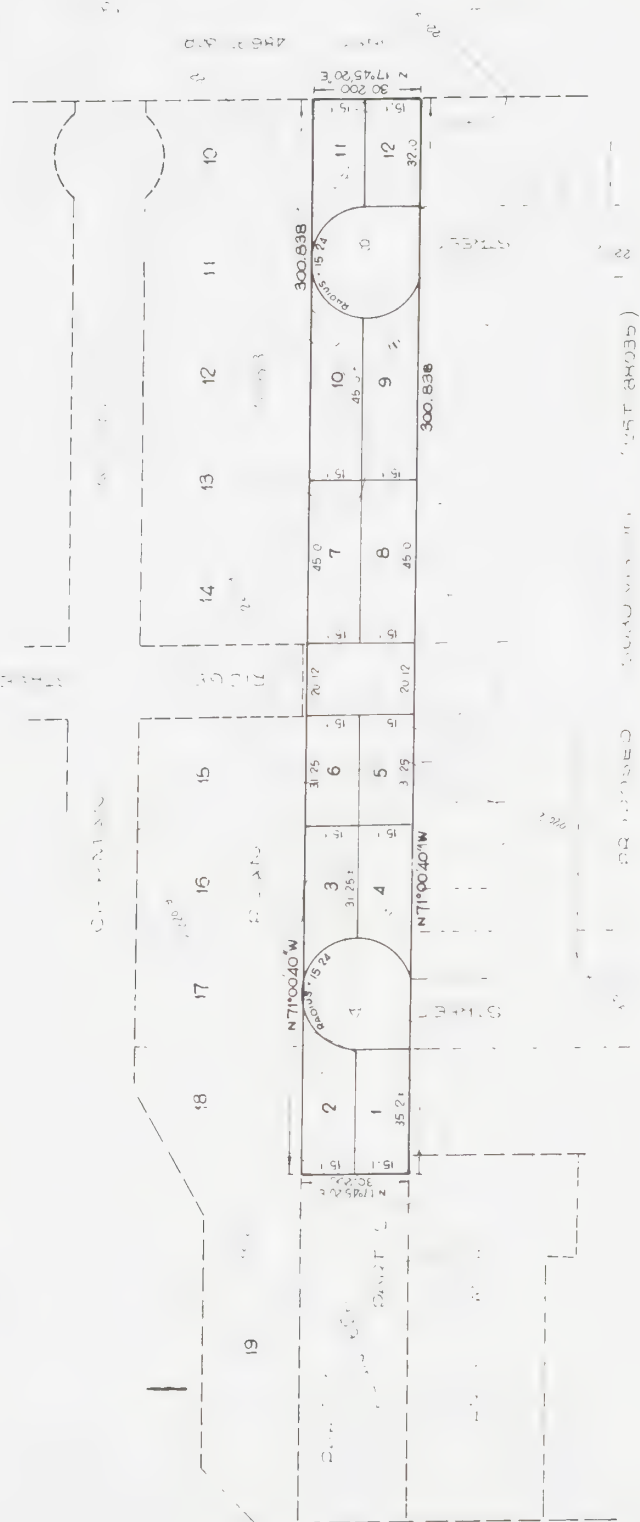
SURVEYOR'S CERTIFICATE
 I HEREBY CERTIFY THAT THE BOUNDARIES OF
 THE LANDS TO BE SUBDIVIDED AND THEIR
 RELATIONS TO ADJACENT LANDS ARE
 ACCURATE AND CORRECTLY SHOWN

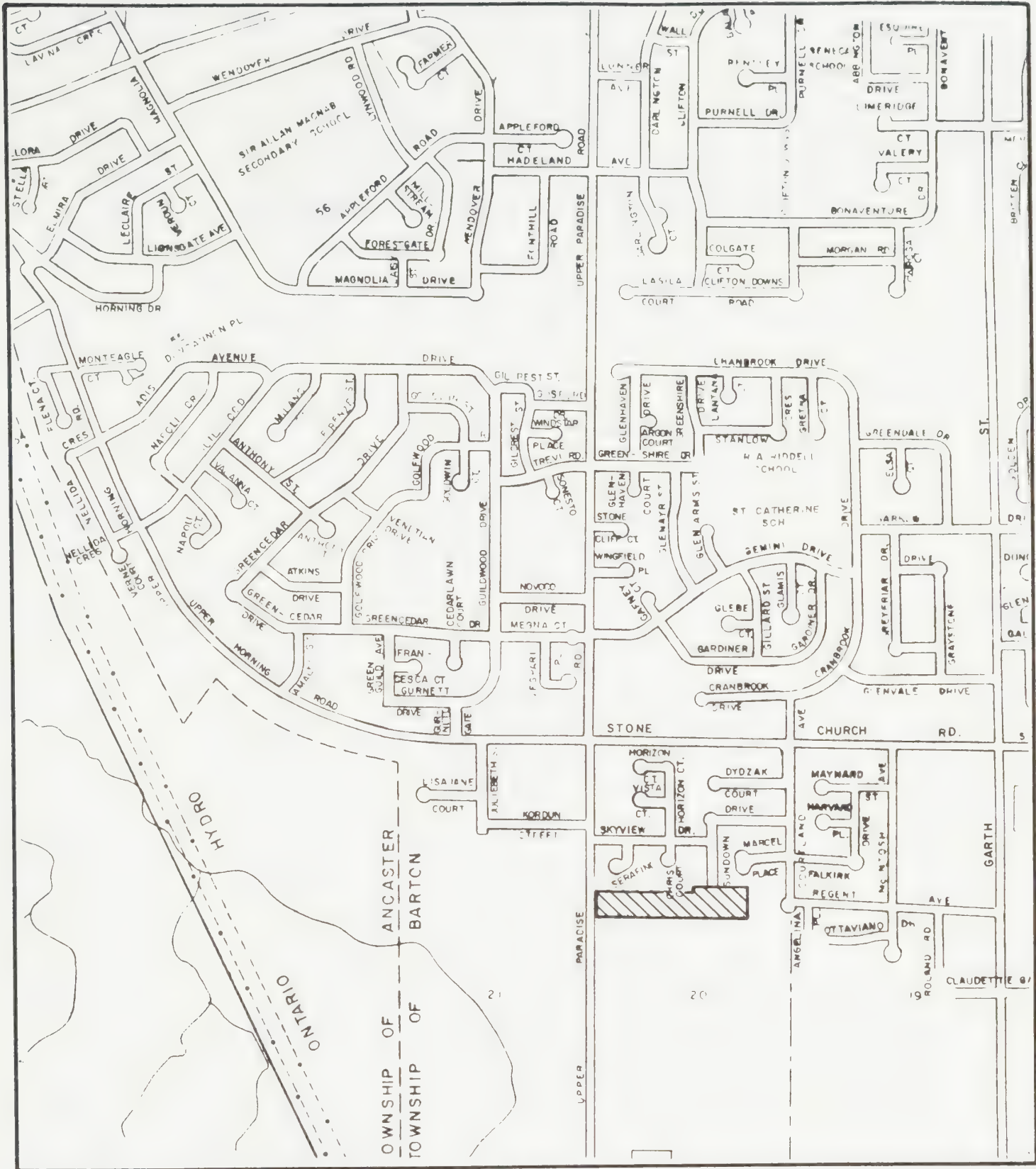
J. David Peters O.L.S.

MACKAY, MACKAY & PETERS LIMITED
 ONTARIO LAND SURVEYORS

(ESTABLISHED 1987)
 SUITE 808 UNION GAS BUILDING
 20 HUGHSON STREET SOUTH
 HAMILTON, ONTARIO L8N 2A1
 TELEPHONE (416) 528-1211
 TELECOPIER (416) 528-0787

S-7227 A





Location Plan For

SHARIF ESTATES

Regional Municipality of Hamilton-Wentworth
Planning and Development Department

Legend



PROPOSED SUBDIVISION

North



Scale
N.T.S.

Date
NOV. 13, 1989

Reference File No.
25T-89037

Drawing No.

250

SEPARATO COURT

RES IDENTIAL

RESISTENTIAL

SHARIF

D R I V E

SEPARATE SCHOOL

「 〇 〇 〇 〇 〇 〇 」

SEPARATE

OWNER'S CERTIFICATE

20/1989

Y. Sharif
YASER SHARIF

DATE

SURVEYOR'S CERTIFICATE

HEREBY CERTIFY THAT THE BOUNDARIES OF THE LAND TO BE
SAID, AND A CORRESPONDING SHOWN

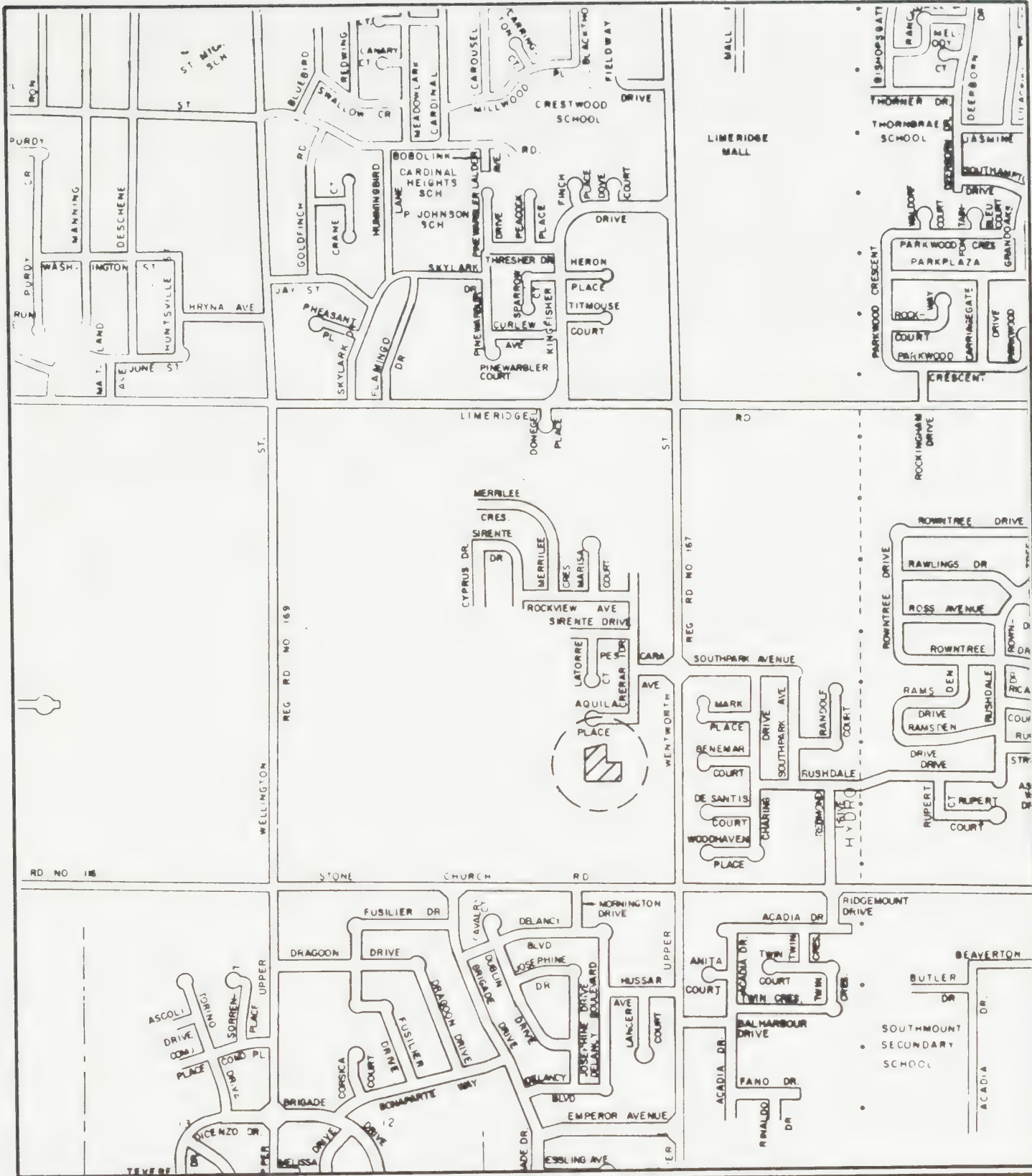
67-189
J.P.
D. V. CONSOL
D. V. CONSOL

Q. V. CONSO.

GUIDO CONSOLI
SURVEYING LTD

152 JACKSON STREET EAST, HAMILTON SUITE 102
TEL (416) 521-1535 • (LBN 113)

160



Location Plan For

CRERAR COURT

Regional Municipality of Hamilton-Wentworth
Planning and Development Department

Legend



PROPOSED SUBDIVISION

North



Scale
1" = 1000'

Date
NOV. 24, 1989

Reference File No.
25T-89038

Drawing No.

DRAFT PLAN OF SUBDIVISION OF
Peace Manor
 BEING
 PART OF LOT 32 - CONCESSION 5
 IN THE GEOGRAPHIC
 TOWNSHIP OF SALT FLEET
 IN THE
 CITY OF HAMILTON
 REGIONAL MUNICIPALITY OF HAMILTON - WENTWORTH

SCALE 1:600



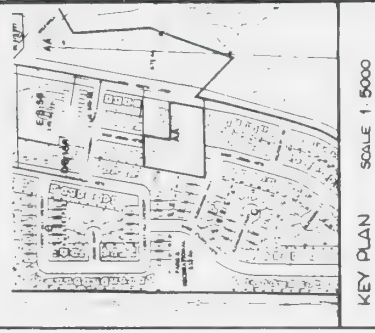
METRIC
 DISTANCES SHOWN ON THIS PLAN ARE IN METRES
 AND CAN BE CONVERTED TO FEET BY DIVIDING BY
 0.3048

OWNER'S CERTIFICATE
 I HEREBY AUTHORIZE MACKAY, MACKAY
 AND PETERS - OUTRADIO LAND SURVEYORS
 TO SUBMIT THIS PLAN FOR APPROVAL.

OCTOBER 30, 1989 *[Signature]*

SURVEYOR'S CERTIFICATE
 I HEREBY CERTIFY THAT THE BOUNDARIES
 OF THE LANDS TO BE SUBDIVIDED AND THEIR
 RELATIONSHIP TO ADJACENT LANDS ARE
 ACCURATELY AND CORRECTLY SHOWN

OCTOBER 30, 1989
 DATE
[Signature]
 MACKAY, MACKAY AND PETERS
 OUTRADIO LAND SURVEYOR



KEY PLAN SCALE 1:5000

**SCHEDULE RE:
 THE PLANNING ACT 1983 (50.2)**

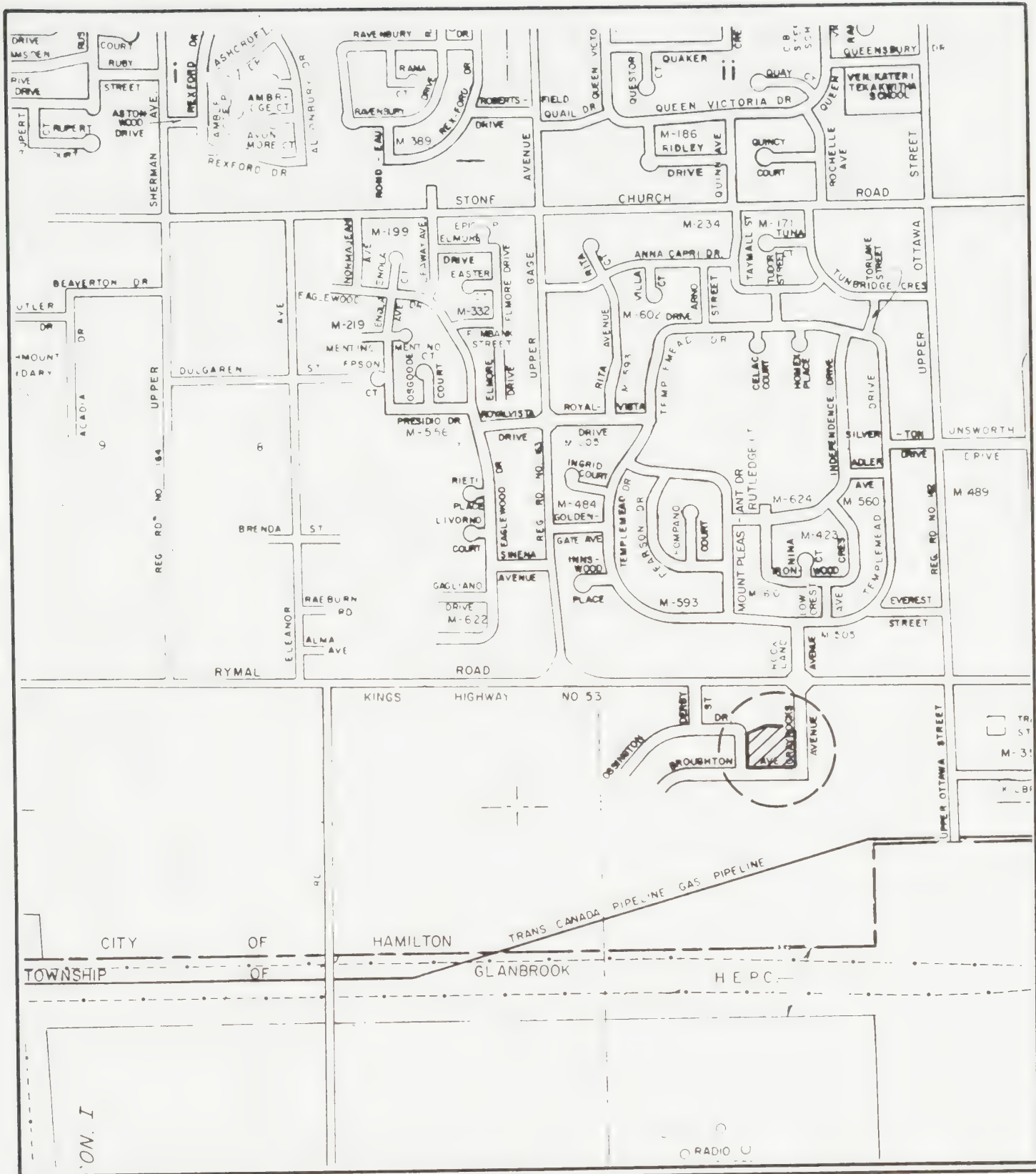
- A) SHOWN
 - B) SHOWN
 - C) SHOWN
 - D) RESIDENTIAL & RECREATIONAL
 - E) SHOWN
 - F) SHOWN
 - G) SHOWN
 - H) MUNICIPAL WASTE Q
 - I) SANDY LOAM
 - J) SHOWN
 - K) FULL SERVICES
 - L) NONE
- BLOCK 16 TO BE DEVELOPED WITH
 ADJACENT LANDS

MACKAY, MACKAY & PETERS LIMITED
 ONTARIO LAND SURVEYORS
 (ESTABLISHED 1906)

SUITE 608, UNION GAS BUILDING
 20 HUGHSON STREET SOUTH
 HAMILTON, ONTARIO L8N 2A1
 TELEPHONE (416) 328-1471
 TELECOPIER (416) 328-0787

S-7242-A





Location Plan For

LILLIAN HEIGHTS (PHASE I)

Regional Municipality of Hamilton-Wentworth
Planning and Development Department

Legend



PROPOSED CONDOMINIUM

North



Scale

1" = 1000'

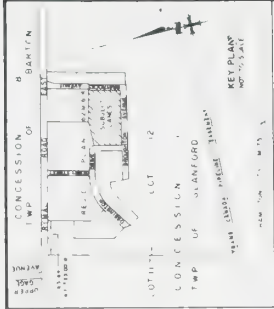
Date

NOV. 13, 1989

Reference File No.

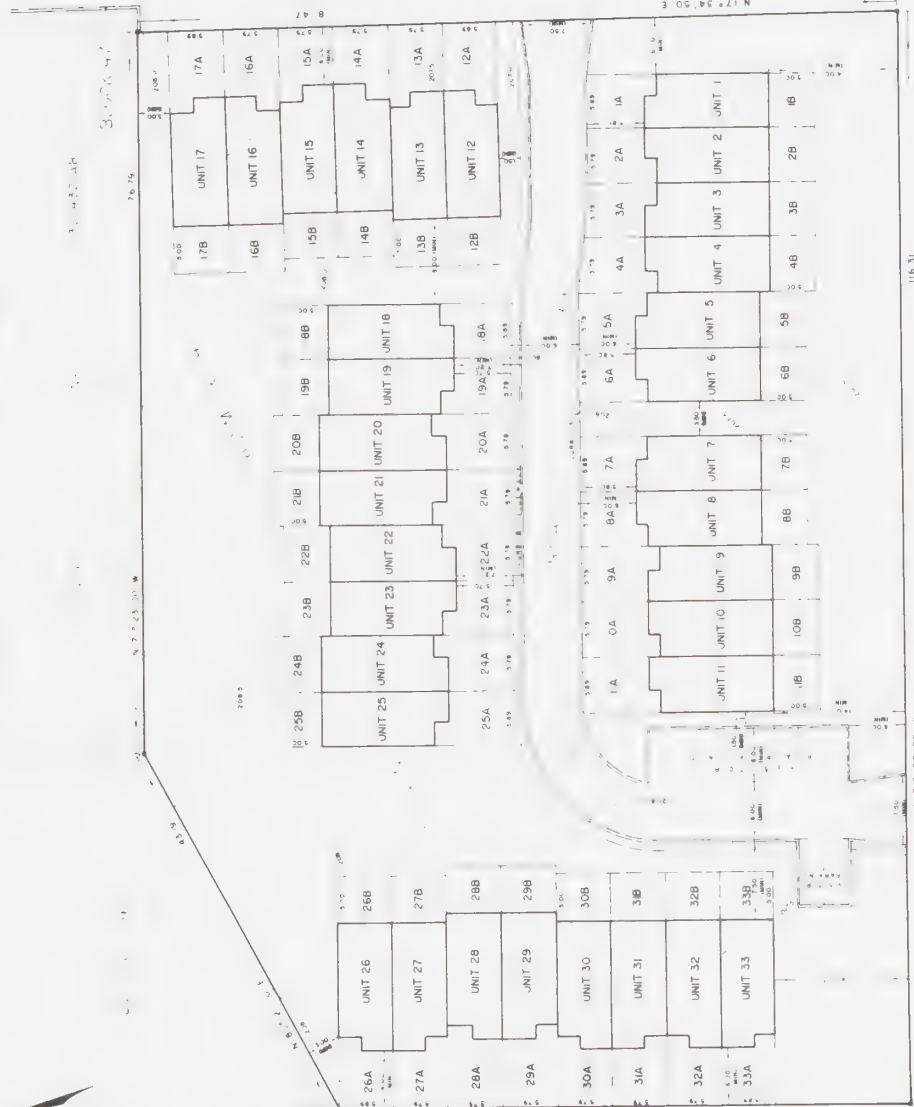
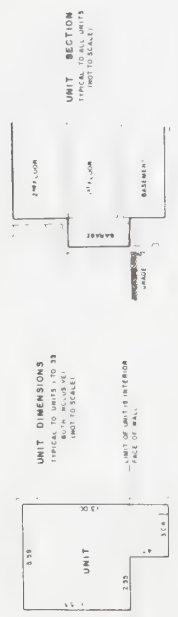
25CDM-89025

Drawing No.



UNITED STATES OF AMERICA	DATE	TOTAL AREA OF PROPERTY	PARCELS PRODUCED
33 RESIDENTIAL UNITS	1989	0.0028 HA	43 SPACES

NOTE
1. AND 2. DIMENSIONS INDICATED ARE APPROXIMATE
3. EXISTING AND PROPOSED DIMENSIONS OF THE TOWNSHIP CLUSTER



DRAFT PLAN OF CONDOMINIUM OF
BLOCK 39
LILLIAN HEIGHTS (PHASE I)
REGISTERED PLAN 62M-614
CITY OF HAMILTON
REGIONAL MUNICIPALITY OF
HAMILTON-WENTWORTH
SCALE 1:200
J. D. BARNES LIMITED - 1989

METRIC

1. STAKES SHOWN ON THIS PLAN ARE THE PROPERTY OF THE SURVEYOR AND ARE NOT TO BE USED FOR ANY OTHER PURPOSE.

2. THE SURVEYOR HAS NOT BEEN ADVISED OF ANY OTHER SURVEYS OR PLANS AFFECTING THIS PROPERTY.

3. THE SURVEYOR HAS NOT BEEN ADVISED OF ANY OTHER SURVEYS OR PLANS AFFECTING THIS PROPERTY.

4. THE SURVEYOR HAS NOT BEEN ADVISED OF ANY OTHER SURVEYS OR PLANS AFFECTING THIS PROPERTY.

SCHEDULE RE SECTION 50(12)

- 1. LILLIAN HEIGHTS (PHASE I)
- 2. LILLIAN HEIGHTS (PHASE I)
- 3. LILLIAN HEIGHTS (PHASE I)
- 4. LILLIAN HEIGHTS (PHASE I)
- 5. LILLIAN HEIGHTS (PHASE I)
- 6. LILLIAN HEIGHTS (PHASE I)
- 7. LILLIAN HEIGHTS (PHASE I)
- 8. LILLIAN HEIGHTS (PHASE I)
- 9. LILLIAN HEIGHTS (PHASE I)
- 10. LILLIAN HEIGHTS (PHASE I)
- 11. LILLIAN HEIGHTS (PHASE I)
- 12. LILLIAN HEIGHTS (PHASE I)
- 13. LILLIAN HEIGHTS (PHASE I)
- 14. LILLIAN HEIGHTS (PHASE I)
- 15. LILLIAN HEIGHTS (PHASE I)
- 16. LILLIAN HEIGHTS (PHASE I)
- 17. LILLIAN HEIGHTS (PHASE I)
- 18. LILLIAN HEIGHTS (PHASE I)
- 19. LILLIAN HEIGHTS (PHASE I)
- 20. LILLIAN HEIGHTS (PHASE I)
- 21. LILLIAN HEIGHTS (PHASE I)
- 22. LILLIAN HEIGHTS (PHASE I)
- 23. LILLIAN HEIGHTS (PHASE I)
- 24. LILLIAN HEIGHTS (PHASE I)
- 25. LILLIAN HEIGHTS (PHASE I)
- 26. LILLIAN HEIGHTS (PHASE I)
- 27. LILLIAN HEIGHTS (PHASE I)
- 28. LILLIAN HEIGHTS (PHASE I)
- 29. LILLIAN HEIGHTS (PHASE I)
- 30. LILLIAN HEIGHTS (PHASE I)
- 31. LILLIAN HEIGHTS (PHASE I)
- 32. LILLIAN HEIGHTS (PHASE I)
- 33. LILLIAN HEIGHTS (PHASE I)

OWNER'S CERTIFICATE

1. I, THE UNDERSIGNED, AM THE OWNER OF THE PROPERTY SHOWN ON THIS PLAN AND I HEREBY CERTIFY THAT THE INFORMATION CONTAINED HEREIN IS TRUE AND CORRECT.

SURVEYOR'S CERTIFICATE

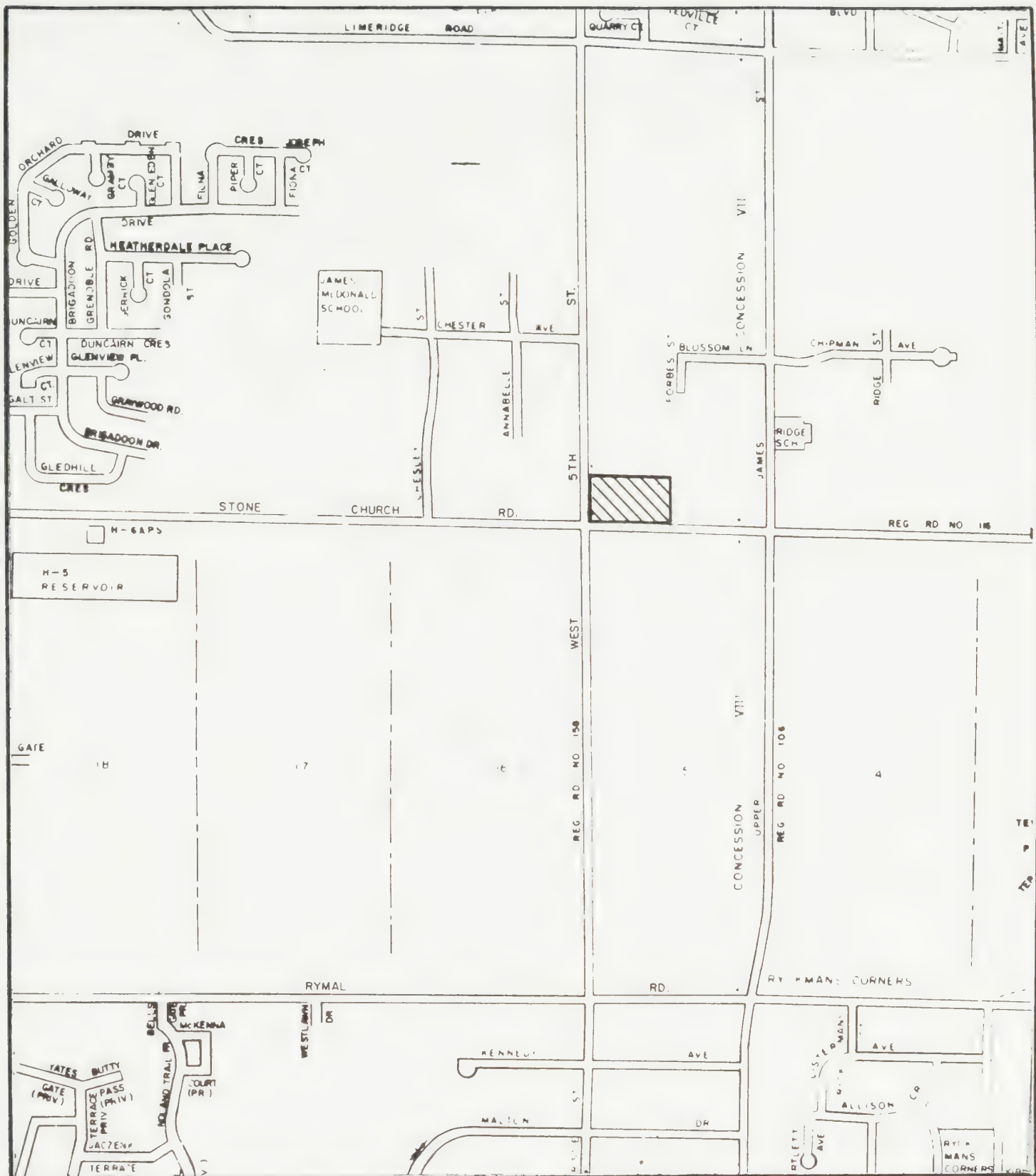
1. I, THE UNDERSIGNED, AM A SURVEYOR AND I HEREBY CERTIFY THAT THE INFORMATION CONTAINED HEREIN IS TRUE AND CORRECT.

OCTOBER 10, 1989
DATE



J.D. BARNES LIMITED
SURVEYING
LAND INFORMATION SERVICES
OFFICE OF LAND
SURVEYING
1000 DUNDAS STREET WEST
TORONTO, ONTARIO M6H 1B5
TEL: (416) 593-1111
FAX: (416) 593-1112

NOTE: THIS PLAN IS A DRAFT PLAN ONLY AND IS SUBJECT TO REVISION AND AMENDMENT.



Location Plan For

DRAFT PLAN OF CONDOMINIUM OF

LOT 2
MARGARET MACKAY SURVEY
REGISTERED PLAN No. 427
IN THE
CITY OF HAMILTON

Regional Municipality of Hamilton-Wentworth
 Planning and Development Department

Legend



PROPOSED CONDOMINIUM

North

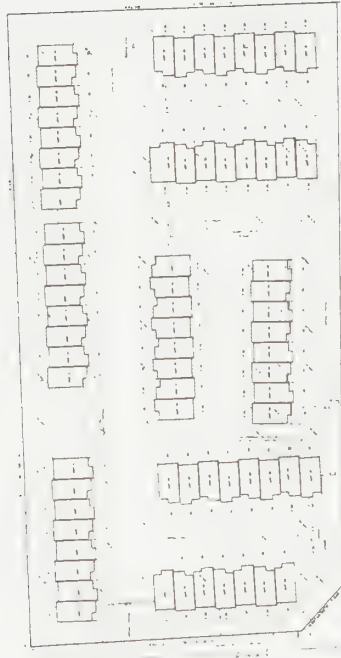


Scale
 1" = 1000'

Date
 DEC. 6, 1989

Reference File No.
 25CDM-89027

Drawing No.



CROSS SECTION A-A



CROSS SECTION B-B



GROUND FLOOR PLAN



GROUND FLOOR PLAN



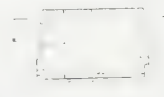
SECOND FLOOR PLAN



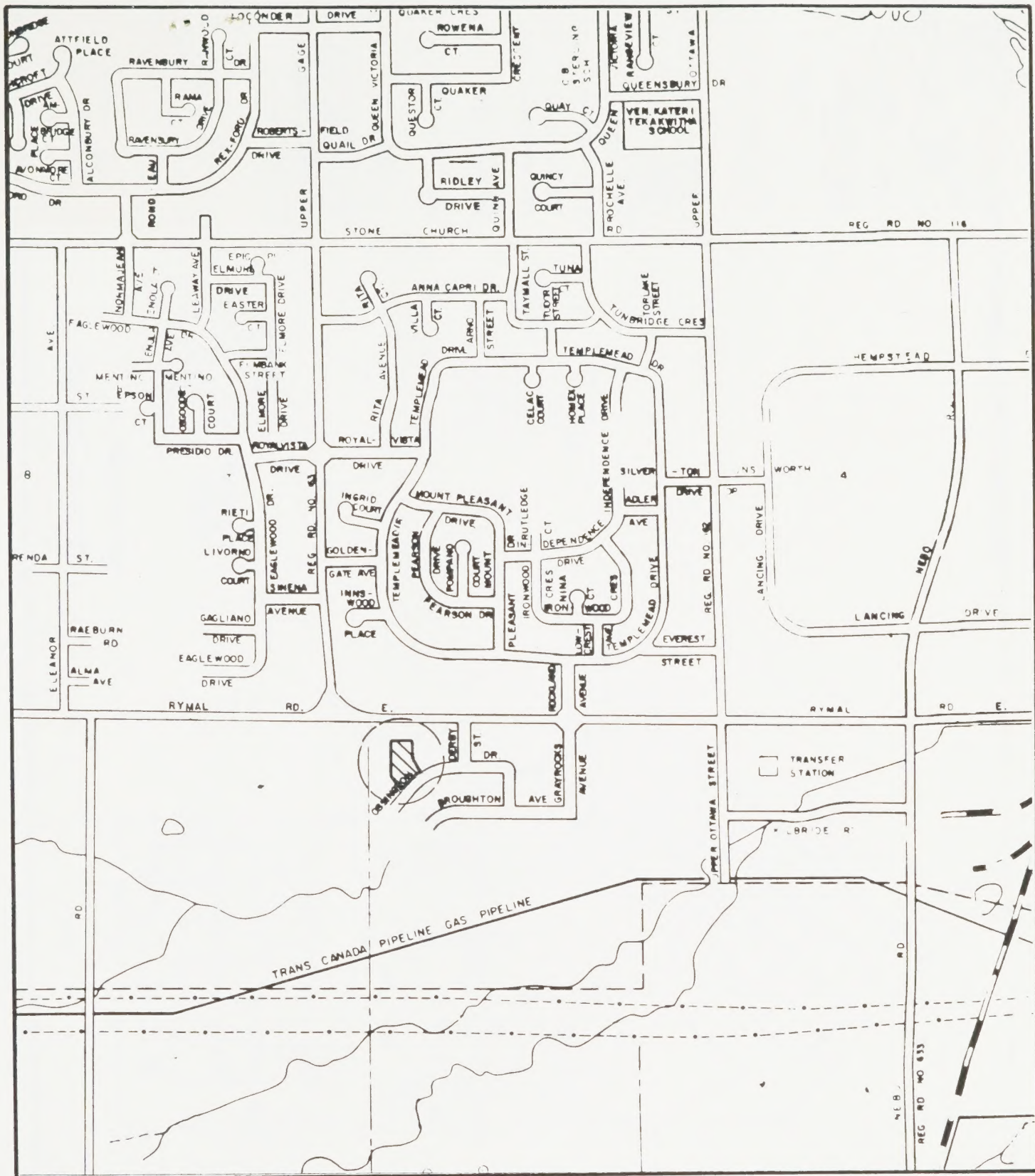
SECOND FLOOR PLAN



THIRD FLOOR PLAN



THIRD FLOOR PLAN



Location Plan For

DRAFT PLAN OF CONDOMINIUM OF
BLOCK 42
LILLIAN HEIGHTS (PHASE I)
REGISTERED PLAN 62M-614
CITY OF HAMILTON

Regional Municipality of Hamilton-Wentworth
Planning and Development Department

Legend



PROPOSED CONDOMINIUM

North



Scale
1" = 1000'

Date
DEC. 6, 1989

Reference File No.
25CDM-89029

Drawing No.

